

SURVEYOR'S OFFICE  
**Hamilton County**

*Kenton C. Ward, CEM*  
*Surveyor of Hamilton County*  
*Phone (317) 776-8495*  
*Fax (317) 776-9628*

*Suite 188*  
*One Hamilton County Square*  
*Noblesville, Indiana 46060-2230*

September 23, 2010

To: Hamilton County Drainage Board

Re: Camden Walk Drain, Camden Walk Section 2B Arm

Attached is a petition filed by Camden Walk, LLC, along with a non-enforcement request, plans, calculations, quantity summary and assessment roll for the Camden Walk Section 2B Arm, Camden Walk Drain to be located in Clay Township. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

12" RCP	574 ft.	18" RCP	677 ft.
15" RCP	32 ft.	6" SSD	2,786 ft.
Open Ditch	657 ft.		

The total length of the drain will be 4,726 feet.

The open ditch listed above is from Str. 850 to Str. 843, in Common Area #7.

The depressional storage area in Common Area #7 is not to be considered part of the regulated drain. Only the inlet, outlet, and open ditch flow path through the depressional storage area will be maintained as part of the regulated drain. The maintenance of the depressional storage area, such as mowing and vegetation control, will be the responsibility of the Homeowners Association. The Board will also retain jurisdiction for ensuing the storage volume for which the depressional storage area was designed will be retained. Thereby, allowing no fill or easement encroachments.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs. Only the main SSD lines which are located within the right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain.

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$35.00 per platted lot, \$5.00 per acre for common areas, with a \$35.00 minimum, and \$10.00 per acre for roadways. With this assessment the total annual assessment for this drain/this section will be \$849.10.

The petitioner has not submitted surety for the proposed drain at this time. Surety shall be submitted prior to the commencement of construction.

Parcels assessed for this drain will also be assessed for the Fitch & Jessup Drain.

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

Since platting will occur at an undetermined time in the future, I recommend that Board approve the non-enforcement request when it is submitted to the Board in the future. The request will be for the reduction of the regulated drain easement to those easement widths as shown on the secondary plat for Camden Walk Section 2B to be recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for November 22, 2010.



Kenton C. Ward, CFM  
Hamilton County Surveyor

KCW/pll

FINDINGS AND ORDER

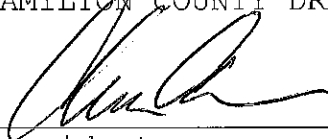
CONCERNING THE MAINTENANCE OF THE

Camden Walk Drain, Camden Walk Section 2B Arm

On this *22nd day of November 2010*, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the *Camden Walk Drain, Camden Walk Section 2B Arm*.

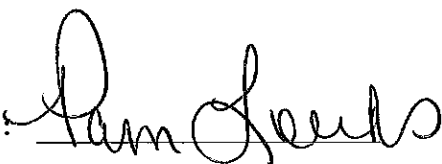
Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

HAMILTON COUNTY DRAINAGE BOARD

  
\_\_\_\_\_  
President

  
\_\_\_\_\_  
Member

\_\_\_\_\_  
Member

Attest:   
\_\_\_\_\_

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD  
IN THE MATTER OF THE

*Camden Walk Drain Section 2B Arm*

NOTICE

Notice is hereby given pursuant to Section 405 of the 1965 Indiana Drainage Code that this Board, prior to final adjournment on **November 22, 2010** has issued an order adopting the Schedule of Assessments, filed the same and made public announcement thereof at the hearing and ordered publication. If judicial review of the findings and order of the Board is not requested pursuant to Article Eight of this code within twenty (20) days from the date of this publication, the order shall be conclusive.

Hamilton County Drainage Board

Attest: Pamela Louks

ONE TIME ONLY

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD  
IN THE MATTER OF

*Camden Walk Drain, Section 2B Arm*

NOTICE

To Whom It May Concern and: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Notice is hereby given of the hearing of the Hamilton County Drainage Board on the **Camden Walk Drain, Section 2B Arm** on **November 22, 2010** at **9:05 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana, and which construction and maintenance reports of the Surveyor and the Schedule of Assessments made by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

STATE OF INDIANA        )  
                                  )  
COUNTY OF HAMILTON )

TO: HAMILTON COUNTY DRAINAGE BOARD  
% Hamilton County Surveyor  
One Hamilton County Square, Suite 188  
Noblesville, IN. 46060-2230

In the matter of Camden Walk Subdivision, Section  
Two Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in Camden Walk, Section Two, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

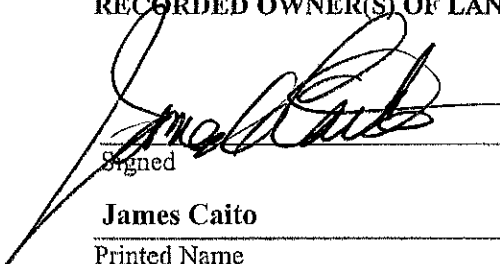
Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

**RECORDED OWNER(S) OF LAND INVOLVED**

  
\_\_\_\_\_  
Signed

**James Caito**

\_\_\_\_\_  
Printed Name

**May 16, 2008**

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signed

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signed

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signed

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Date



# STOEPPELWERTH & ASSOCIATES, INC.

CONSULTING ENGINEERS • LAND SURVEYORS

August 6, 2008

David J. Stoepfelwerth  
President, CEO  
Professional Engineer  
Professional Land Surveyor

Curtis C. Huff  
Vice President, COO  
Professional Land Surveyor

R.M. Stoepfelwerth  
Founder  
Professional Engineer  
Professional Land Surveyor

Hamilton County Surveyor's Office  
One Hamilton County Square  
Suite 188  
Noblesville, Indiana 46060

Attention: Greg Hoyes

Re: Camden Walk, Section 2

Dear Mr. Hoyes:

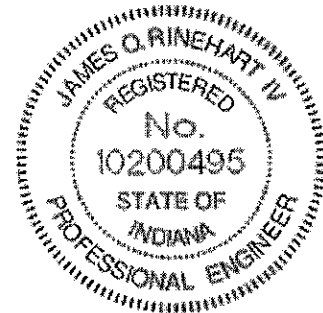
On behalf of the developer Camden Walk, LLC I wish to submit this Engineer's Estimate for Camden Walk, Section 2. The estimate is as follows:

Earthwork	\$85,000.00
Sanitary Sewer	\$120,563.00
Storm Sewer	\$95,923.00
Waterline	\$164,420.00
Sub-Surface Drain	\$35,600.00
Curbs	\$36,350.00
Lime Stabilization	\$25,640.00
Asphalt	\$235,000.00
Erosion Control	\$26,408.00
Total	\$824,904.00

Witness my signature this 6<sup>th</sup> day of August, 2008.

James O. Rinehart IV, P.E.  
Professional Engineer  
No. 10200495

Cc: Jim Caito  
David Lucas



7965 East 106th Street  
Fishers, Indiana  
46038-2505

317.849.5935  
Fax: 317.849.5942  
www.Stoepfelwerth.com

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Correspondence\HamiltonCountySurveyorHoyesEE08-06-08.doc





# STOEPPELWERTH & ASSOCIATES, INC.

CONSULTING ENGINEERS • LAND SURVEYORS

David J. Stoepfelwerth  
President, CEO  
Professional Engineer  
Professional Land Surveyor

Curtis G. Huff  
Vice President, COO  
Professional Land Surveyor

R.M. Stoepfelwerth  
Founder  
Professional Engineer  
Professional Land Surveyor

August 11, 2008

Hamilton County Surveyor's Office  
One Hamilton County Square  
Suite 188  
Noblesville, Indiana 46060

Attention: Greg Hoyes

Re: Camden Walk, Section 2

Dear Mr. Hoyes:

On behalf of the developer Camden Walk, LLC, please accept the following Engineer's Estimate for subdivision monumentation for Camden Walk, Section 2. Please put with the previously sent August 6, 2008 Engineer's Estimate. The estimate is as follows:

## CAMDEN WALK, SECTION 2

Description	Quantity	Unit	Unit Price	Total	Performance Bond
Lot Corner Pins	36	EA	\$100.00	\$3,600.00	\$3,960.00
Centerline Monuments	13	EA	\$170.00	\$2,210.00	<u>\$2,431.00</u>
				TOTAL	\$6,391.00

Witness my signature this 11<sup>th</sup> day of August, 2008.

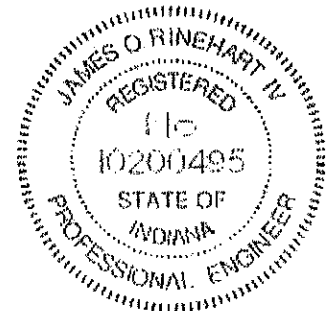
James O. Rinehart IV, P.E.  
Professional Engineer  
No. 10200495

Cc: Jim Caito  
David Lucas

BAH/mcb  
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Correspondence\HamiltonCountySurveyor\Hoyes\EFMonuments08-11-08.doc

7965 East 106th Street  
Fishers, Indiana  
46038-2505

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# STOEPPELWERTH & ASSOCIATES, INC.

CONSULTING ENGINEERS • LAND SURVEYORS

April 28, 2010

David J. Stoepelwerth  
President, CEO  
Professional Engineer  
Professional Land Surveyor

Curtis C. Huff  
Vice President, COO  
Professional Land Surveyor

R.M. Stoepelwerth  
Founder  
Professional Engineer  
Professional Land Surveyor

Hamilton County Surveyor's Office  
One Hamilton County Square, Suite 188  
Noblesville, Indiana 46060

Attention: Greg Hoyes

Re: Camden Walk, Section 2A

Dear Mr. Hoyes:

On behalf of the developer Camden Walk, LLC, please accept the following Engineer's Estimate for Camden Walk, Section 2. The estimate is as follows:

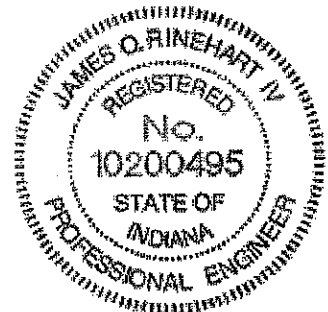
Description	Contract Amount
Earthwork/Clearing	\$36,200.00
Sanitary Sewers	\$64,824.00
Storm Sewers	\$38,624.00
Sub-Surface Drains	\$16,350.00
Water Mains	\$65,939.00
Concrete Curbs	\$18,146.00
Stone Base	\$26,530.00
Base Asphalt	\$36,550.00
Intermediate Asphalt	\$27,077.00
Surface Asphalt	\$24,710.00
Lime Stabilization	\$19,263.00
Erosion Control	\$13,100.00
Lot Corner Pins (14 @ \$100.00/ea.)	\$1,400.00
Centerline Monuments (6 @ \$170.00/ea.)	\$1,020.00

**Total \$389,733.00**

Witness my signature this 28<sup>th</sup> day of April, 2010.

James O. Rinehart IV, P.E.  
Professional Engineer  
No. 10200495

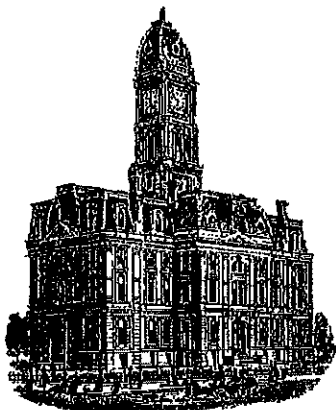
Cc: Jim Caito  
David Lucas



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46038-2505

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*Kenton C. Ward, CFM*  
*Surveyor of Hamilton County*  
 Phone (317) 776-8495  
 Fax (317) 776-9628

*Suite 188*  
*One Hamilton County Square*  
*Noblesville, Indiana 46060-2230*

**To: Hamilton County Drainage Board**

**October 20, 2016**

**Re: Camden Walk Drain – Camden Walk Section 2B**

Attached are as-built, certificate of completion & compliance, and other information for Camden Walk Section 2B. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated September 23, 2010. The report was approved by the Board at the hearing held November 22, 2010. (See Drainage Board Minutes Book 13, Pages 202-4) The changes are as follows: the 12" RCP was shortened from 574 feet to 572 feet. The 15" RCP was shortened from 32 feet to 28 feet. The 18" RCP was shortened from 677 feet to 665 feet. The 6" SSD was shortened from 2,786 feet to 2,710 feet. The Open ditch was shortened from 657 feet to 655 feet. The length of the drain due to the changes described above is now **4,630 feet**.

The non-enforcement was approved by the Board at its meeting on November 22, 2010 and recorded under instrument #2016054066. Sureties were not provided for this section of development.

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,

---

Kenton C. Ward, CFM  
 Hamilton County Surveyor

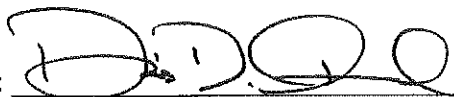
CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: Camden Walk Section 2B

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

Signature:  Date: October 14, 2016

Type or Print Name: Dennis D. Olmstead

Business Address: Stoeppelwerth & Associates, Inc.

7965 East 106th Street, Fishers, Indiana 46038

Telephone Number: (317) 570-4700

SEAL

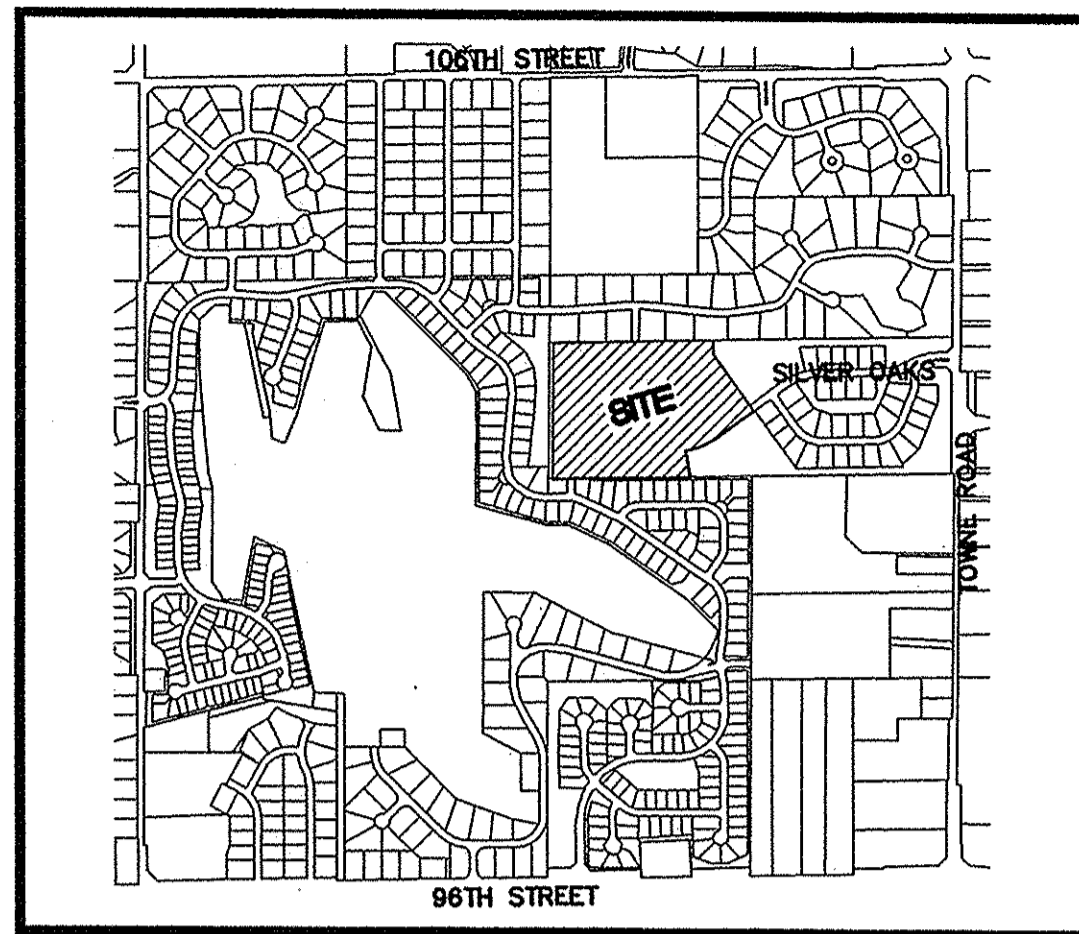
INDIANA REGISTRATION NUMBER

900012

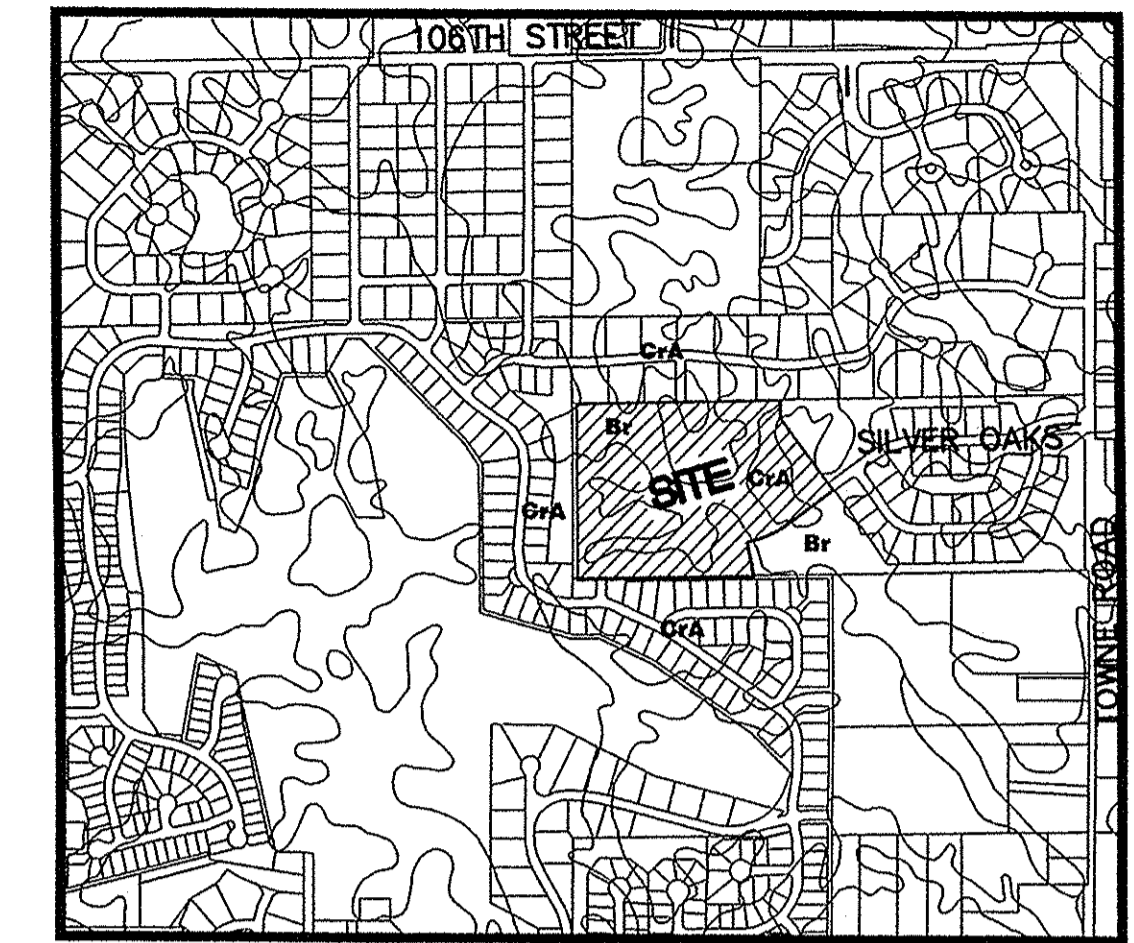
# CAMDEN WALK SECTION TWO

Developed by:  
CAMDEN WALK, L.L.C.  
P.O. BOX 3936  
CARMEL, INDIANA 46082  
(317)-574-8906

CONTACT PERSON: JAMES CAITO  
STEVE WILSON  
(317) 846-2555  
RICHARD CARRIGER  
(317) 846-9221



VICINITY MAP  
NOT TO SCALE



SOILS MAP  
NOT TO SCALE

CA Crosby silt loam, 0-3 percent slopes- this soil is light colored, silty in texture and on sloping uplands. It is deep and somewhat poorly drained with slow permeability. It has high available water for plant growth and medium organic matter content. The soil has compact till starting at a depth between 20-40 inches. The main soil features that affect urban development uses are seasonal high water table, moderate shrink-swell potential, high potential frost action and slow permeability.  
BR Bronckston silty clay loam- this soil is dark colored, silty in texture and on depressional uplands. It is deep and very poorly drained with moderate permeability. It has high available water for plant growth and high organic matter content. It has compact till starting at a depth of 40 to 60 inches. The main soil features that affect the urban development uses are seasonal high water table, high potential frost action, moderate shrink-swell potential, moderate permeability and ponded surface water.

NO EARTH DISTURBING ACTIVITY MAY TAKE PLACE WITHOUT AN APPROVED STORM WATER MANAGEMENT PERMIT.

SPEED LIMIT: 25 M.P.H.

DESIGN DATA SECTION 2A

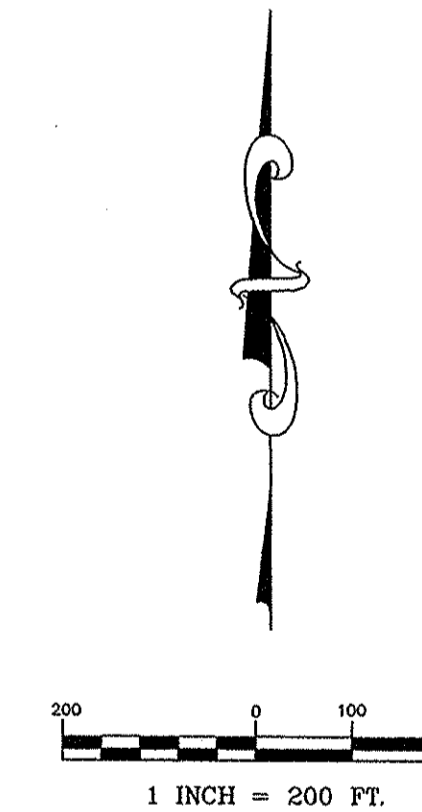
14 LOTS = 1.77 LOTS/ACRE  
7.901 AC.

SILVER OAKS DRIVE 515.93 L.F.  
SOUTH TOWNE LANE 897.69 L.F.  
TOTAL 1,413.62 L.F.

DESIGN DATA SECTION 2B

22 LOTS = 1.47 LOTS/ACRE  
14.930 AC.

SILVER OAKS DRIVE \ FIDDLERS COURT 912.90 L.F.  
INVERNESS DRIVE 291.18 L.F.  
TOTAL 1,204.08 L.F.



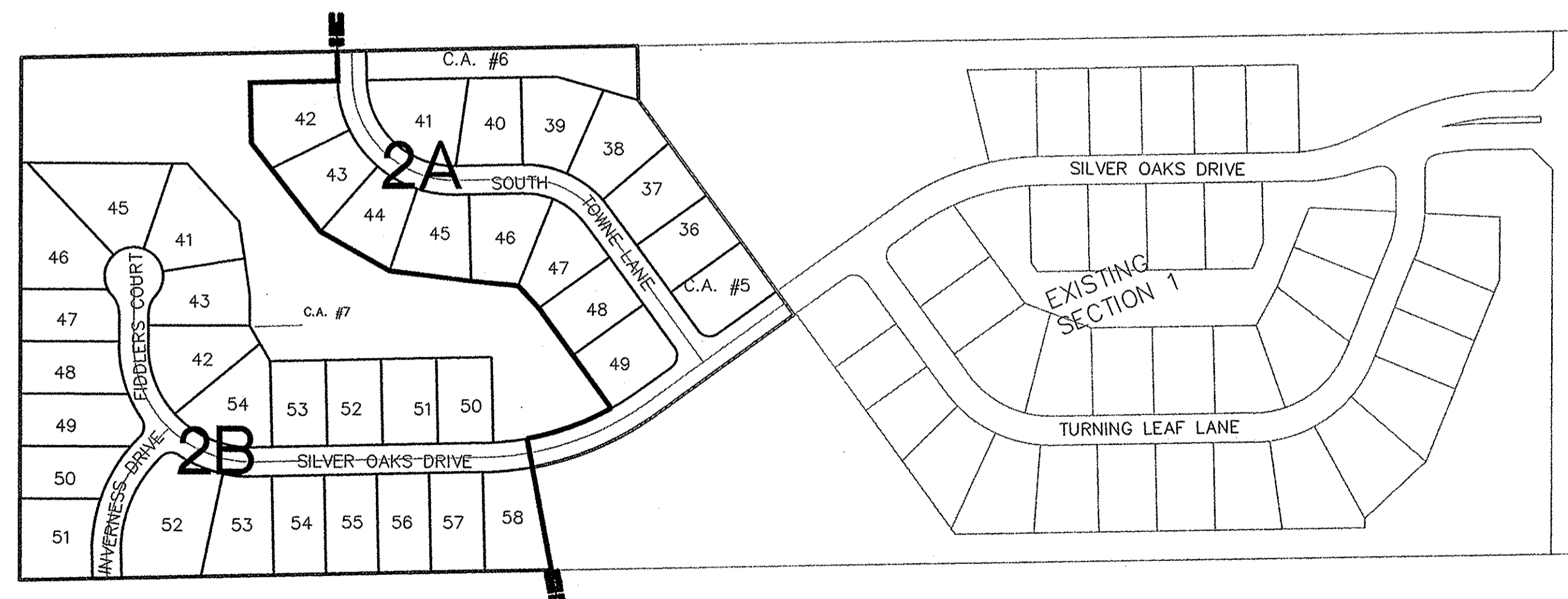
## RECORD DRAWING

*D. D. O.* 9/1/2016  
DENNIS D. OLMSTEAD  
Registered Land Surveyor  
No. 900012

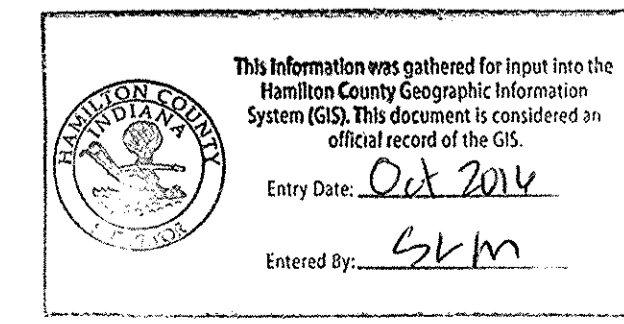


SHT.	INDEX DESCRIPTION
C001	COVER SHEET
C002	NOTED REVISIONS SHEET
C100	TOPOGRAPHICAL SURVEY
C200-C201	SITE DEVELOPMENT PLANS
C300-C305	EROSION CONTROL PLANS / VEGETATIVE BASIN / SPECIFICATIONS
C400-C406	STREET PLAN & PROFILES / INTERSECTION DETAILS / TRAFFIC
C500-C502	SANITARY SEWER PLAN & PROFILES
C600-C602	STORM SEWER PLAN & PROFILES / SUMP PLAN
C700-C701	WATER PLANS / WATER DETAILS
C800-C805	CONSTRUCTION DETAILS SANITARY STORM STREET A.D.A. RAMP DETAILS
L1-L3	LANDSCAPING PLANS

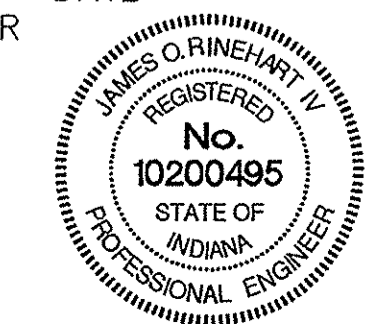
SHT.	REVISIONS DESCRIPTION
ALL	REVISED PER AGENCY COMMENTS 7/02/08
C200, C303, C404, C602	REVISED PER AGENCY COMMENTS 7/10/08
ALL	REVISED PER COUNTY SURVEYOR COMMENTS 7/02/08
ALL	REVISED PER AGENCY COMMENTS 7/24/08
ALL	SPLIT PLANS INTO SECTION 2A & 2B 6/20/09
ALL	SECTION 2A ASBUILTS 9/27/10 KRG
C200-2B, C500-C501, C601-C602	SECTION 2B ASBUILTS 8/30/16 GEM



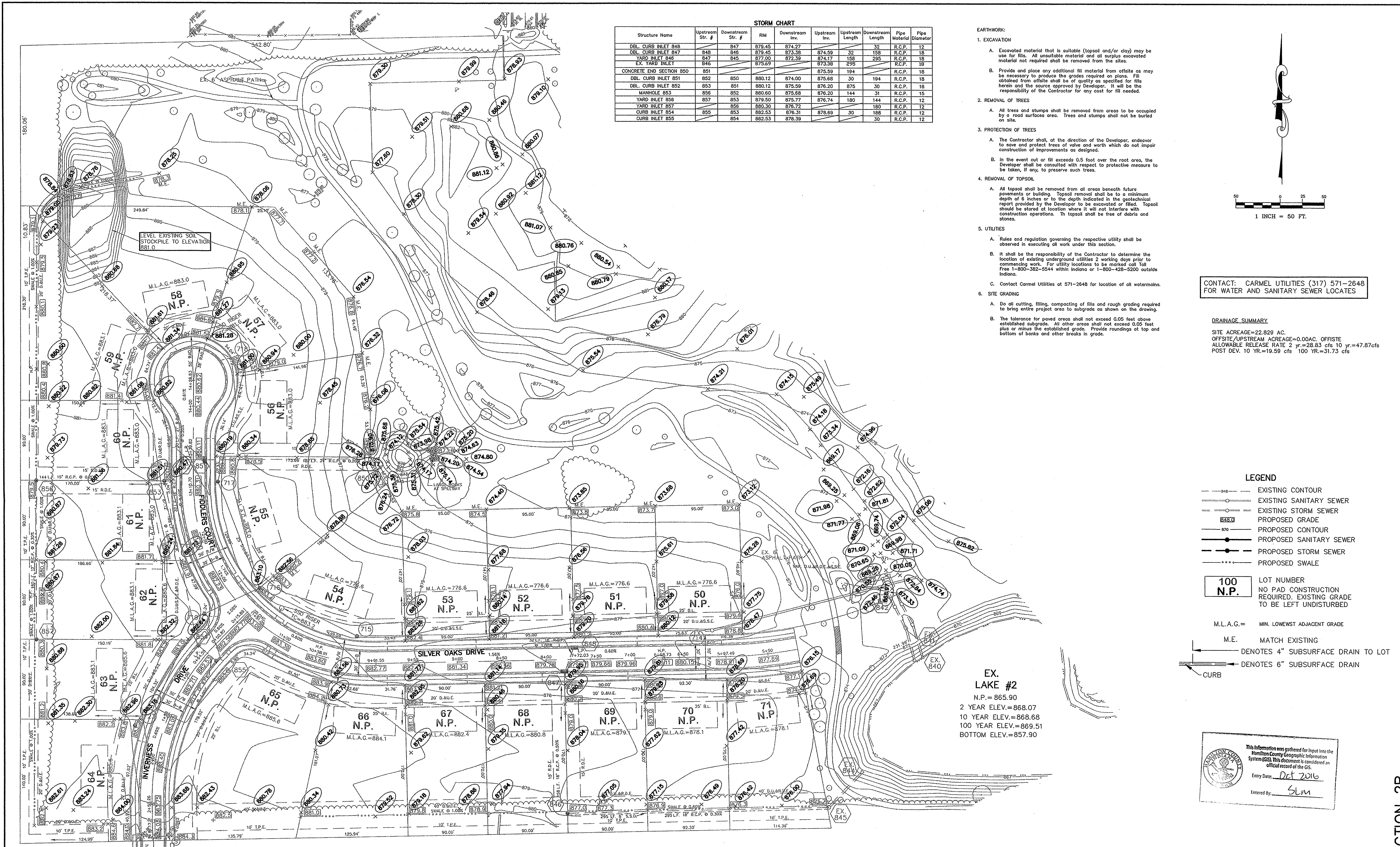
PLANS PREPARED BY:  
**STOEPPELWERTH & ASSOCIATES, INC.**  
CONSULTING ENGINEERS & LAND SURVEYORS  
7965 E. 106th STREET FISHERS, INDIANA 46038  
PHONE: (317)-570-4841  
FAX: (317)-849-5942  
CONTACT PERSON: Brett A. Huff  
EMAIL: BHUFF@STOEPPELWERTH.COM



PLANS CERTIFIED BY:  
*J. O. Rinehart, IV* 05/15/2008  
JAMES O. RINEHART, IV DATE  
PROFESSIONAL ENGINEER  
NO. 10200495



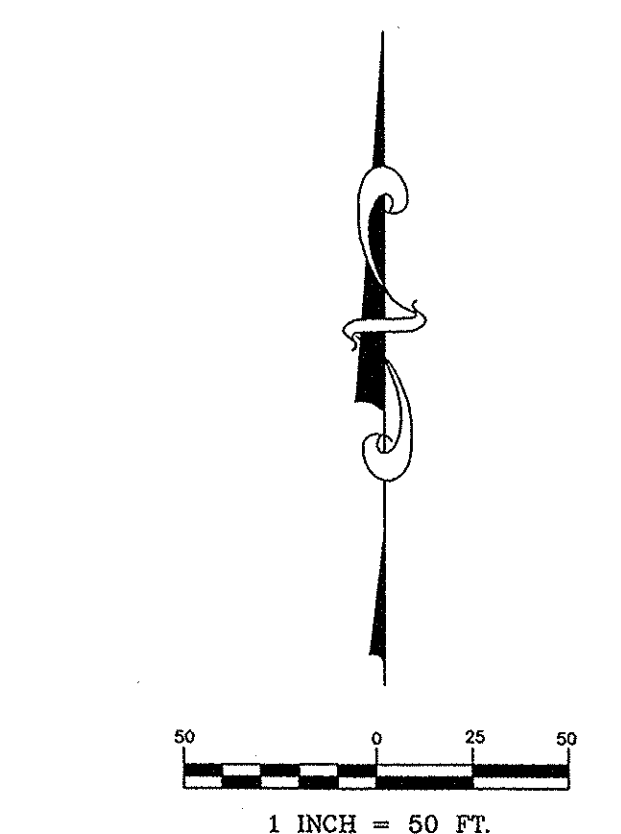




**STORM CHART**

Structure Name	Upstream Str. #	Downstream Str. #	RIM	Downstream Inv.	Upstream Inv.	Upstream Length	Downstream Length	Pipe Material	Pipe Diameter
DBL CURB INLET 848	847	848	878.45	874.57		32		R.C.P.	12
DBL CURB INLET 847	848	846	878.45	873.38	874.59	32	158	R.C.P.	18
EX YARD INLET	847	845	877.00	872.39	874.17	158	295	R.C.P.	18
CONCRETE END SECTION 850	851		875.69		873.38			R.C.P.	18
DBL CURB INLET 851	852	850	880.12	874.00	875.68	30	194	R.C.P.	18
DBL CURB INLET 852	853	851	880.12	875.59	876.20	30	144	R.C.P.	18
MANHOLE 853	856	852	880.60	875.68	876.20	144	31	R.C.P.	15
YARD INLET 856	857	853	879.50	875.77	876.74	180	144	R.C.P.	12
YARD INLET 857		855	880.30	876.72				R.C.P.	12
CURB INLET 854	855	853	882.53	876.31	876.69	30	188	R.C.P.	12
CURB INLET 855		854	882.53	876.39				R.C.P.	12

- EARTHWORK:**
- EXCAVATION**
    - Excavated material that is suitable (topsoil and/or clay) may be used for fills. All unsuitable material and all surplus excavated material not required shall be removed from the site.
    - Provide and place any additional fill material from offsite as may be necessary to produce the grades required on plans. Fill obtained from offsite shall be of quality as specified for fills herein and the source approved by Developer. It will be the responsibility of the Contractor for any cost for fill needed.
  - REMOVAL OF TREES**
    - All trees and stumps shall be removed from areas to be occupied by a road surface area. Trees and stumps shall not be buried on site.
  - PROTECTION OF TREES**
    - The Contractor shall, at the direction of the Developer, endeavor to save and protect trees of value and worth which do not impair construction of improvements as designed.
    - In the event cut or fill exceeds 0.5 foot over the root area, the Developer shall be consulted with respect to protective measure to be taken, if any, to preserve such trees.
  - REMOVAL OF TOPSOIL**
    - All topsoil shall be removed from all areas beneath future pavements or building. Topsoil removal shall be to a minimum depth of 6 inches or to the depth indicated in the geotechnical report provided by the Developer to be excavated or filled. Topsoil shall be stored at location where it will not interfere with construction operations. Topsoil shall be free of debris and stones.
  - UTILITIES**
    - Rules and regulation governing the respective utility shall be observed in executing all work under this section.
    - It shall be the responsibility of the Contractor to determine the location of existing underground utilities 2 working days prior to commencing work. For utility locations to be marked call Toll Free 1-800-382-5544 within Indiana or 1-800-428-5200 outside Indiana.
    - Contact Carmel Utilities at 571-2648 for location of all water mains.
  - SITE GRADING**
    - Do all cutting, filling, compacting of fills and rough grading required to bring entire project area to subgrade as shown on the drawing.
    - The tolerance for paved areas shall not exceed 0.05 feet above established subgrade. All other areas shall not exceed 0.05 feet plus or minus the established grade. Provide roundings at top and bottom of banks and other breaks in grade.



CONTACT: CARMEL UTILITIES (317) 571-2648  
FOR WATER AND SANITARY SEWER LOCATES

**DRAINAGE SUMMARY**  
 SITE ACREAGE=22.829 AC.  
 OFFSITE/UPSTREAM ACREAGE=0.00AC. OFFSITE  
 ALLOWABLE RELEASE RATE 2 yr.=28.83 cfs 10 yr.=47.87cfs  
 POST DEV. 10 YR.=19.59 cfs 100 YR.=31.73 cfs

- LEGEND**
- - - - - EXISTING CONTOUR
  - - - - - EXISTING SANITARY SEWER
  - - - - - EXISTING STORM SEWER
  - 848.3 PROPOSED GRADE
  - 870 PROPOSED CONTOUR
  - - - - - PROPOSED SANITARY SEWER
  - - - - - PROPOSED STORM SEWER
  - - - - - PROPOSED SWALE
  - 100 N.P. LOT NUMBER
  - N.P. NO PAD CONSTRUCTION REQUIRED. EXISTING GRADE TO BE LEFT UNDISTURBED
  - M.L.A.G. = MIN. LOWEST ADJACENT GRADE
  - M.E. MATCH EXISTING
  - ← DENOTES 4" SUBSURFACE DRAIN TO LOT
  - ← DENOTES 6" SUBSURFACE DRAIN
  - CURB

**EX. LAKE #2**  
 N.P. = 865.90  
 2 YEAR ELEV.=868.07  
 10 YEAR ELEV.=868.68  
 100 YEAR ELEV.=869.51  
 BOTTOM ELEV.=857.90

**NOTES TO CONTRACTOR:**

c. The Engineer shall be notified when the Contractor has reached the tolerance as stated above, so that field measurements and spot elevations can be verified by the Engineer. The Contractor shall not remove his equipment from the site until the Engineer has verified that the job meets the above tolerance.

ALL PADS SHOULD BE TESTED TO ASSURE A COMPACTION OF AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY USING THE STANDARD PROCTOR TEST METHOD.

ANY PRIVATE TILES LOCATED ON THIS SITE WILL NEED TO BE LOCATED, BREATHERS SET AT THE DOWNSTREAM PROPERTY LINE AND CRUSHED OR REMOVED ACROSS THIS SITE. IF ANY OF THESE TILES EXTEND BEYOND THE LIMITS OF THIS PROJECT, THEY WILL NEED TO BE PROVIDED A POSITIVE OUTLET AND ALLOWED TO CONTINUE TO FUNCTION, AS IT IS ILLEGAL TO BLOCK OFF A PRIVATE "MUTUAL" TILE.

CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ON-SITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

CONTRACTOR SHALL CONTACT THE DEPARTMENT OF ENGINEERING TO SCHEDULE A PRE-CONSTRUCTION MEETING TO REVIEW THE DEPARTMENT'S CONSTRUCTION REQUIREMENTS, STAFF NOTIFICATION REQUIREMENTS, REQUIRED INSPECTIONS FOR CERTAIN STAGES OF WORK TO REVIEW THE AUTHORITY OF THE DEPARTMENT AS IT RELATES TO WORK WITHIN THE EXISTING AND PROPOSED CITY R/W.

NO EARTH DISTURBING ACTIVITY MAY TAKE PLACE WITHOUT AN APPROVED STORM WATER MANAGEMENT PERMIT.

THERE IS TO BE NO DRIVEWAY ENCROACHMENTS INTO EASEMENTS BETWEEN LOTS.

EXISTING PAVEMENT SHALL BE SAW CUT TO PROVIDE A SMOOTH TRANSITION.

SIDEWALKS AT THE PERIMETER OF THIS SECTION SHALL BE CONNECTED TO THE SIDEWALKS IN ADJACENT SECTIONS OR SUBDIVISIONS.

# RECORD DRAWING

Dennis D. Olmstead  
 Registered Land Surveyor  
 No. 900012

9/1/2016

DENNIS D. OLMSTEAD  
 REGISTERED  
 No. 900012  
 STATE OF INDIANA  
 LAND SURVEYOR



**CAUTION**  
 LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, holes, valves, & marks made upon the ground by others), AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATION OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CALL 2 WORKING DAYS BEFORE YOU DIG  
 CALL TOLL FREE  
 1-800-382-5544

PER INDIANA STATE LAW ICB-1-26,  
 IT IS AGAINST THE LAW TO EXCAVATE  
 WITHOUT NOTIFYING THE UNDERGROUND  
 LOCATION SERVICE TWO (2) WORKING  
 DAYS BEFORE COMMENCING WORK.

**SECTION 2B**

**SITE DEVELOPMENT PLAN**

**CAMDEN WALK**

**SECTION TWO**

HAMILTON COUNTY, INDIANA

CARMEL

STOEPPELWERTH & ASSOCIATES, INC.  
 CONSULTING ENGINEERS & LAND SURVEYORS  
 7985 East 106th Street, Fishers, IN 46038-2505  
 Phone: (317) 849-5935 Fax: (317) 849-5942  
 Toll Free: (800) 728-8917

REGISTERED PROFESSIONAL ENGINEER  
 No. 10200495  
 STATE OF INDIANA

CERTIFIED: 05/15/2008

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETACEMENT OR SURVEY OR A SURVEYOR LOCATION REPORT.

REVISIONS

NO.	DATE	MARK	BY
1	7/24/08	MGF	BAH
2	7/24/08	MGF	BAH
3	7/24/08	MGF	BAH
4	7/24/08	MGF	BAH
5	7/24/08	MGF	BAH
6	7/24/08	MGF	BAH
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100	7/24/08	MGF	BAH

ASBUILT GRADE ELEV.

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 LOCATION SERVICE TWO (2) WORKING  
 DAYS BEFORE COMMENCING WORK.

2916052



# RECORD DRAWING

Dennis D. Olmstead  
Registered Land Surveyor  
No. 900012



NO EARTH DISTURBING ACTIVITY MAY TAKE PLACE WITHOUT AN APPROVED STORM WATER MANAGEMENT PERMIT.

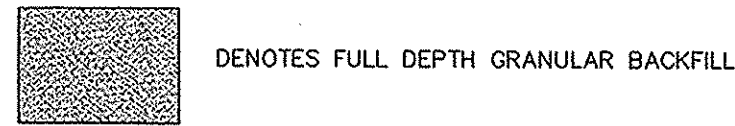
NOTE:  
FOR INSTALLATION OF STORM MAINS, WATER MAINS, SANITARY MAINS, WATER SERVICE LATERALS, SANITARY SERVICE LATERALS UNDER CITY STREETS, REGARDLESS OF THE JURISDICTION OF THE UTILITY, THE MINIMUM COVER FROM THE TOP OF THE INSTALLED PAVEMENT TO THE TOP OF THE INSTALLED PIPE SHALL BE THE PAVEMENT SECTION THICKNESS (ALL BITUMINOUS AND AGGREGATE MATERIAL ABOVE THE SUBGRADE) PLUS 1'-0" BUT UNDER NO CIRCUMSTANCES SHALL THE COVER ALONG ANY PART OF THE PIPE FROM THE FINAL PAVEMENT ELEVATION TO THE TOP OF THE PIPE BE LESS THAN 2.5 FEET.

NOTES: CONSTRUCTION TOLERANCE FOR YARD INLETS WILL BE +0.0' TO -0.20'.

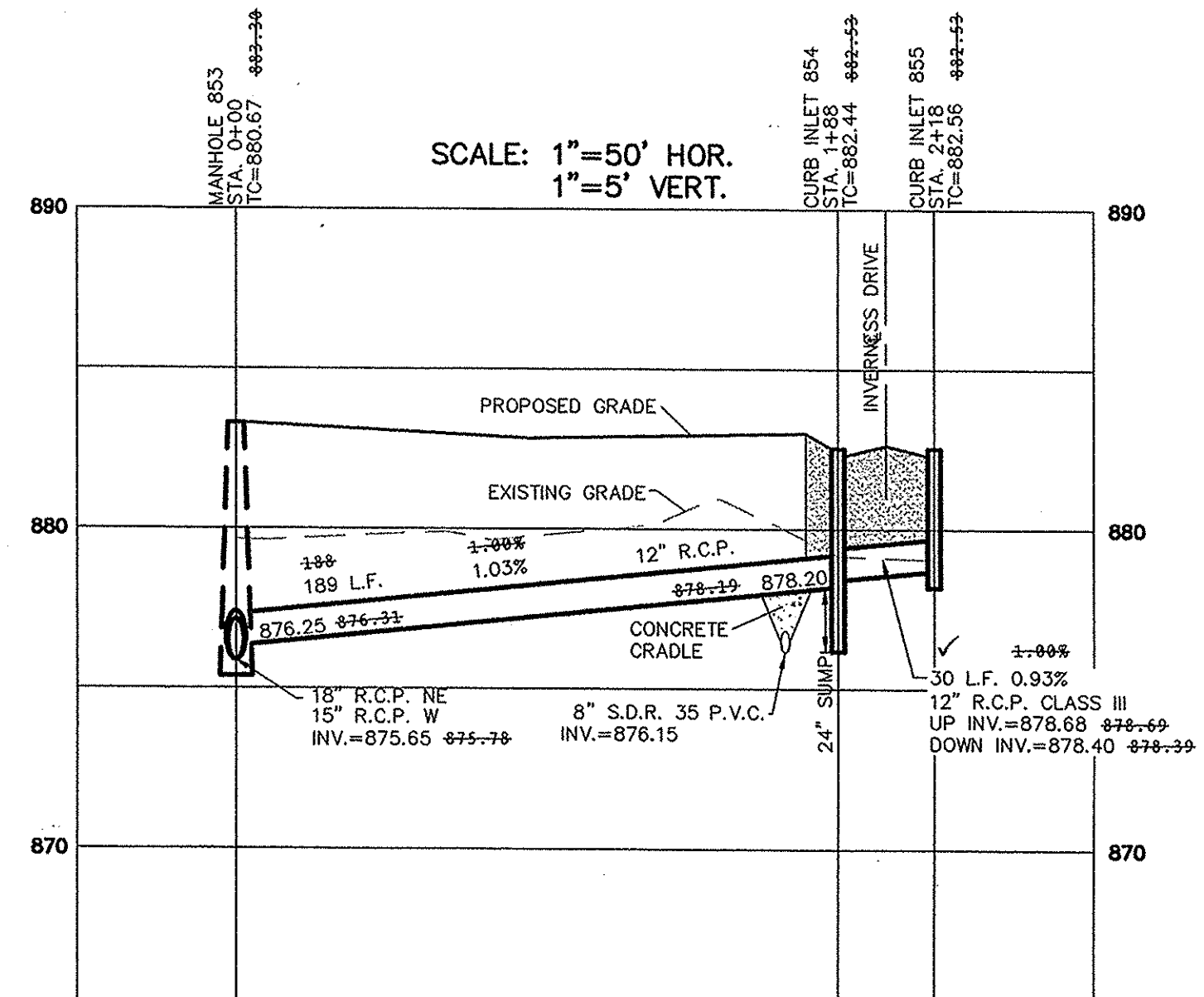
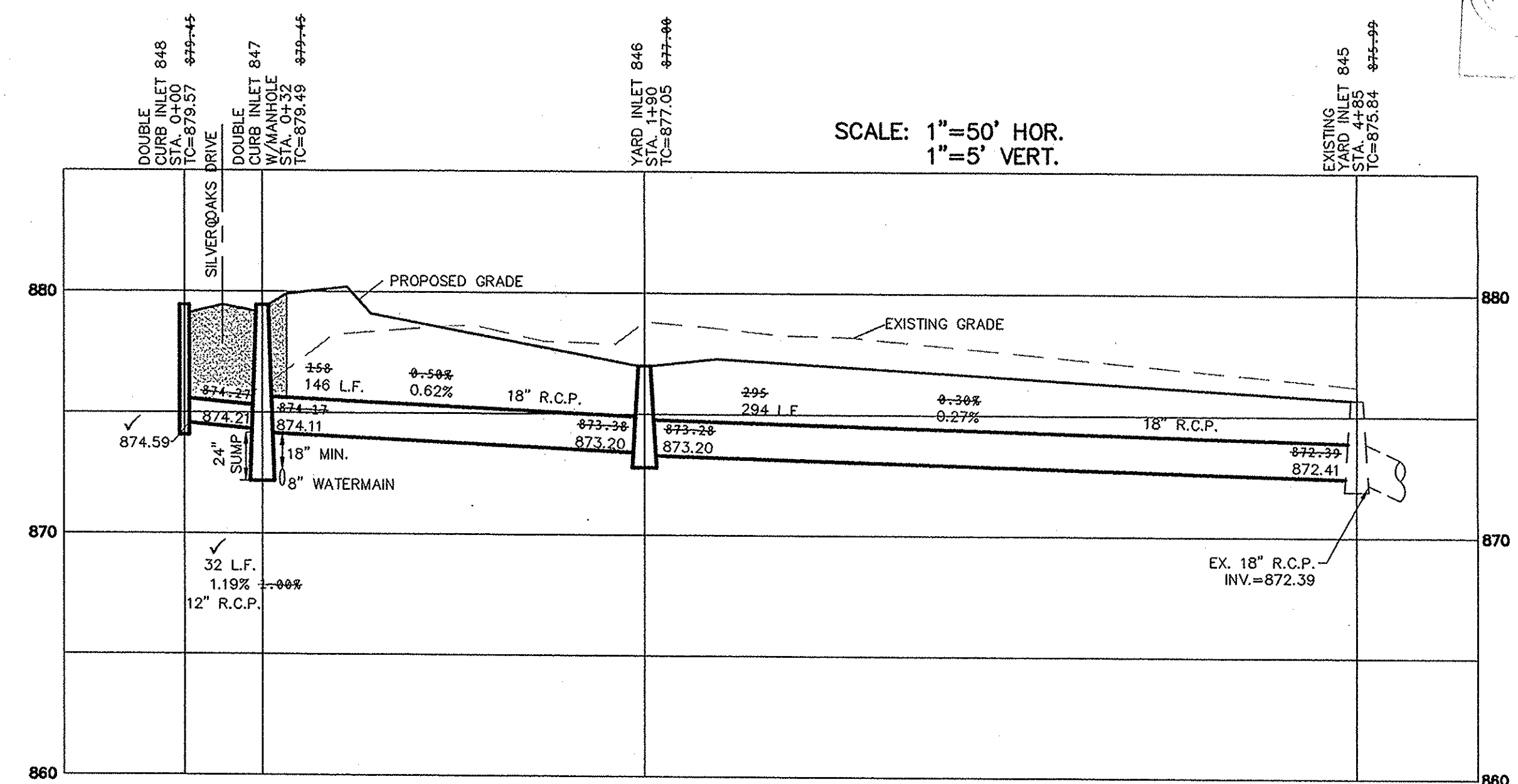
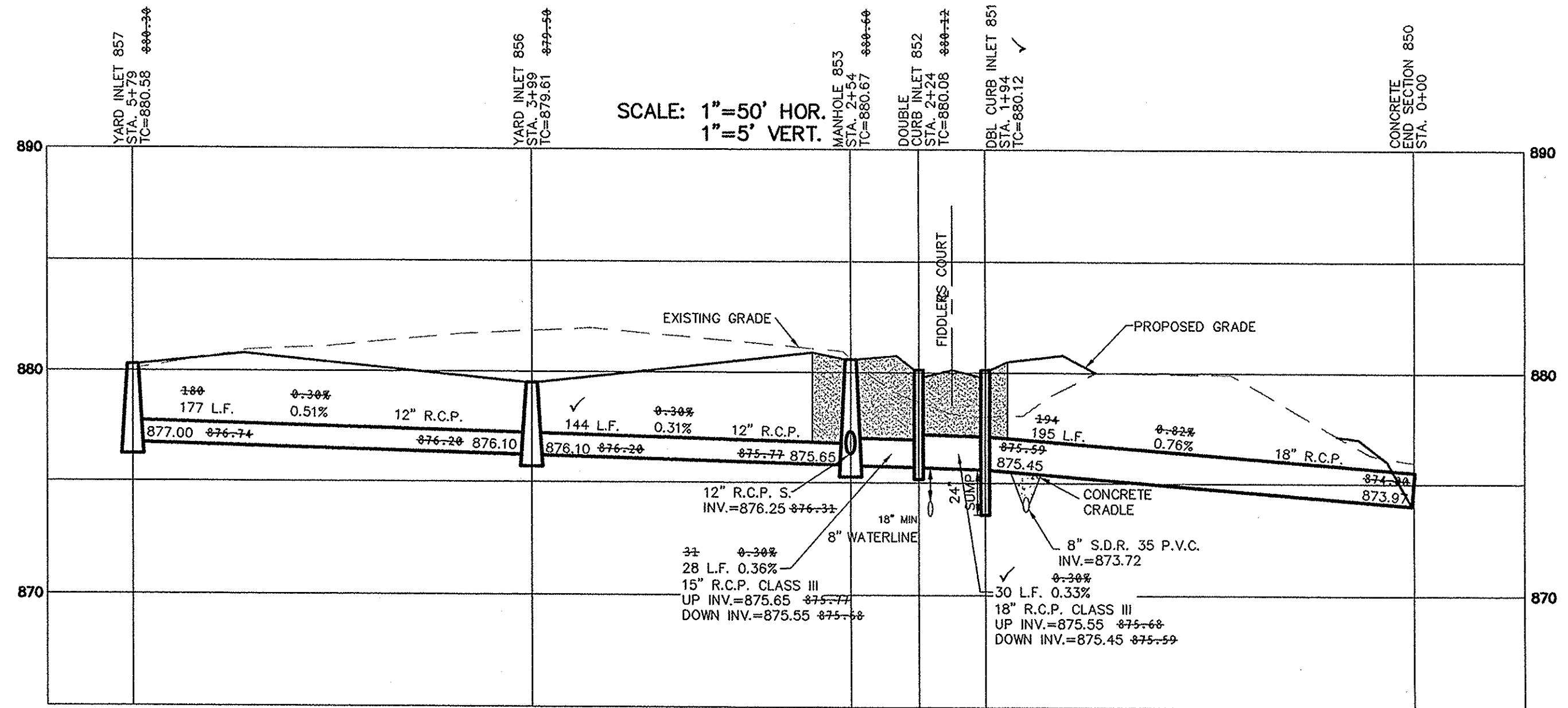
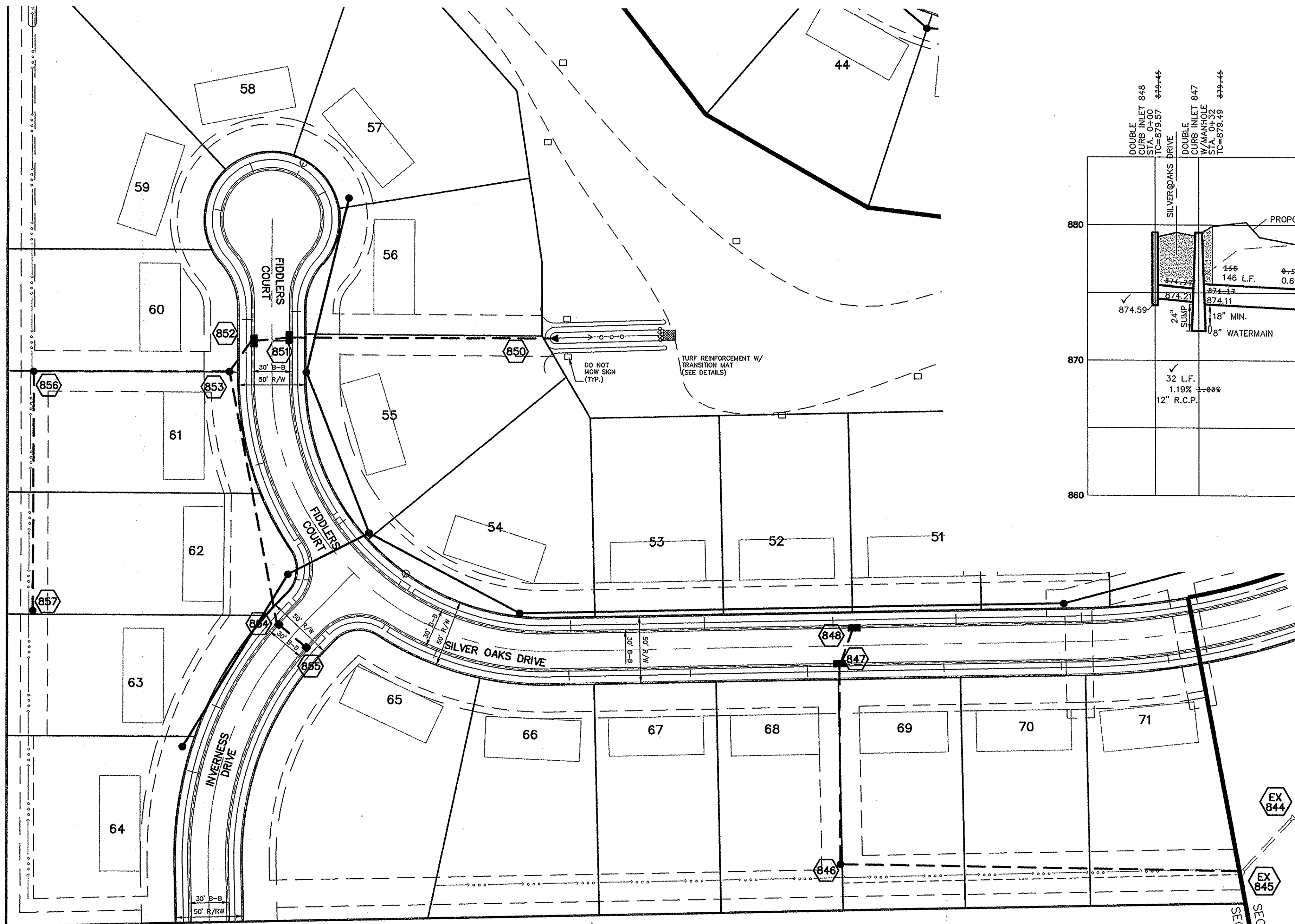
"EXCEPT FOR FORCE MAINS, CONTRACTOR TO INSTALL CONCRETE CRADLES WHEN THE VERTICAL SEPARATION (AS MEASURED FROM THE EXTERIOR OF THE PIPES) BETWEEN SANITARY SEWER FACILITIES AND STORM SEWERS IS 18" OR LESS."

ALL MANHOLES TO BE CONSTRUCTED WITH ONE 4" RISER RING (NO MORE, NO LESS) TO ESTABLISH PLAN CASTING GRADE.

THERE SHALL BE NO CASTINGS IN PAVED AREAS, CURBING, OR SIDEWALKS IN THE PUBLIC RIGHT-OF-WAY WITH THE EXCEPTION OF CURB INLETS AS SHOWN. ALL EXISTING OFF-SITE DRAIN TILES THAT ARE ENCOUNTERED SHALL BE TIED INTO THE PROPOSED STORM SEWER SYSTEM WITH A POSITIVE OUTFLOW. ALL STORM SEWER CASTINGS SHALL BE LABELED "DUMP NO WASTE--DRAINS TO WATERWAY". CONTRACTOR TO USE R.C.P. PIPE STORM PIPE



SCALE: 1" = 50'



This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.  
Entry Date: Oct 2016  
Entered By: SLM

NO.	DATE	MARK	REVISIONS	BY
1	7/27/08		REVISED PER AGENCY COMMENTS	MGF
2	7/27/08		REVISED PER AGENCY COMMENTS	BAH
3	7/27/08		REVISED PER AGENCY COMMENTS	MGF
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9	7/27/08		REVISED PER AGENCY COMMENTS	MGF
10	7/27/08		REVISED PER AGENCY COMMENTS	BAH

JAMES D. RINEART, P.E.  
REGISTERED PROFESSIONAL ENGINEER  
No. 10200495  
STATE OF INDIANA  
CERTIFIED: 05/15/2008

STOEPPELWERTH & ASSOCIATES, INC.  
CONSULTING ENGINEERS & LAND SURVEYORS  
7965 East 106th Street, Fishers, IN 46038-2505  
Phone: (317) 849-9335 Fax: (317) 849-9842  
Toll Free: (800) 728-6917

SECTION 2B  
STORM PLAN & PROFILES  
CAMDEN WALK  
SECTION TWO  
HAMILTON COUNTY, INDIANA  
CARMEL

DRAWN BY: MGF  
CHECKED BY: BAH  
SHEET NO. C601  
S & A JOB NO. 2916052



DATE	BY	REVISIONS
02/20/16	CEA	ASBUILT SECTION 2B
02/27/10	KRC	ASBUILT SECTION 2A
07/20/09	BAH	SPLIT PLANS INTO SECTION 2A & 2B
07/23/08	MGF	REVISED PER AGENCY COMMENTS
07/02/08	MGF	REVISED PER AGENCY COMMENTS
		REVISIONS

JAMES O. RINEHART  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 10200495  
 STATE OF INDIANA  
 CERTIFIED: 05/15/2008

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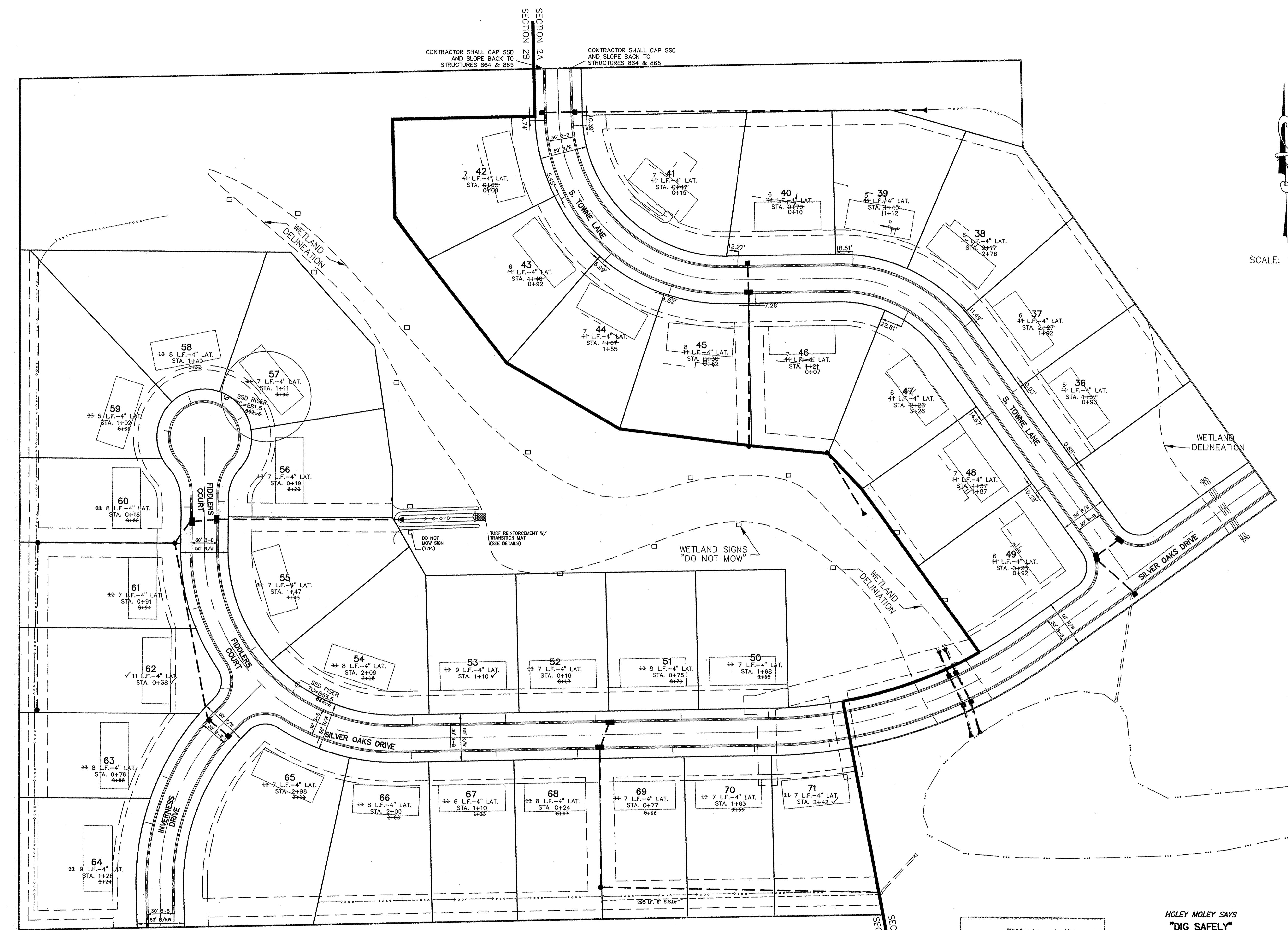


HAMILTON COUNTY, INDIANA  
**CARMEL**

**SUMP PLAN**  
**CAMDEN WALK**  
**SECTION TWO**

DRAWN BY: MGF  
 CHECKED BY: BAH  
 SHEET NO. **C602**  
 S & A JOB NO. 2916052

PER INDIANA STATE LAW ICB-1-26, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.



NOTE: THIS SHEET SHOULD BE USED ONLY FOR SUMP PUMP CONNECTION LOCATION.

**RECORD DRAWING**

DENNIS D. OLMSTEAD  
 Registered Land Surveyor  
 No. 900012



This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.  
 Entry Date: Oct 2016  
 Entered By: GLM



**"IT'S THE LAW"**  
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